

PINOTAGE VILLAS  
ARCHITECTURAL GUIDELINES

ON ERF NR 2119&2120:

**KLAPMUTS**



**July 2023**  
**Draft 1**

# ARCHITECTURAL DESIGN MANUAL

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## **1. Introduction**

- 1.1 The purpose of this set of architectural guidelines is to preserve and protect the harmonious aesthetics value of the Villas. To this end the combination of traditional Cape architectural elements and the use of natural building materials will be encouraged. Pinotage Villas is unique with a variety of unit types and architectural styles with unique design expression. These guidelines allow for individual architectural styles to continue within perimeters to preserve the existing and future development of the Villas.
- 1.2 An overseeing architect will be appointed by the Pinotage Villas Homeowners Association. The architectural guidelines aim to ensure the quality of the Villas are preserved.
- 1.3 Any and all alterations, additions, external decoration, reconstruction, boundary walls and fences as well as sidewalk alterations must be submitted for approval by the appointed overseeing architect. This includes but are not limited to solar panels, tool sheds, water storage tanks, generators, swimming pools, air-conditioning units, as well as additions and alterations of any nature.
- 1.4 All applications will be reviewed on individual merit.
- 1.5 Approval will not be unreasonably denied.
- 1.6 Once the overseeing architect has approved any application, approval must be obtained from the local authority BEFORE any construction work may commence on site. It is the responsibility of the owner to obtain local authority building plan approval.
- 1.7 Any deviation from the approved plan during construction must be re-submitted and approved before commencement of changes on site. As-built/rider plans are to be avoided.
- 1.8 Approved plans are valid for 12 months only and after this period a new application will be required.
- 1.9 To protect the interest of all homeowners, any construction work not approved by the overseeing architect and the local authority will be fined.
- 1.10 Any construction work not approved by the overseeing architect and the local authority will be reported to the district's building inspector.
- 1.11 The submission process to the overseeing architect for any building application can be obtained via email from the HOA manager (accounts@pinotagevillas.co.za). This will include an application form, scrutiny fee details as well as overseeing architect's contact details.
- 1.12 Homeowners are welcome to use their own registered draughtsman or architect for building plans, but plans must be approved by the overseeing architect before submission to the local authority.

## **2. Land use**

- 2.1 The land use will be as per the approved subdivision diagrams for the erven within the Villas and subdivision approval Application No. LU/2918 dated 01 November 2013.
- 2.2 Erven included in this guideline are all the subdivided erven under the registered mother erf 2120 and 2119. Refer to General Plan 2676/2013 for all the erf numbers under Pinotage Villas.
- 2.3 The only access for the Villas will be from Skool Street.

### 3. Intent

These guidelines have been set up by Pinotage Villas's HOA manager and are in the best interest of all homeowners. It aims to ensure all additions and alterations contribute value to the streetscape of the Villas as well as the value of the homeowner's property.

The architectural guidelines can be revised and updated from time to time. This will be in the best interests of homeowners and allow guidelines to adapt with future technologies and alterations to existing built form of the Villas which has not been catered for in this document.

Architects and designers should ensure they have the latest guidelines which are obtainable from the HOA manager or overseeing architect.

Architects to refer to the latest Stellenbosch Planning By-Law. This is subject to change from time to time and takes precedence over this document.

### 4. Site restrictions

#### 4.1 Density

Second dwellings are not allowed.

- Any addition to existing dwellings should be sensitive to, and match the existing architectural language.
- Coverage and bulk to comply with the local authority.
- House footprint to be according to the building lines and final approved site development plans.

#### 4.2 Height Restriction

Height restrictions to comply with the local authority. The height of any addition should take neighbouring properties into account and be sensitive to sunlight, privacy and scale.

### 5. Schedule of Finishes

#### 5.1 External walls:

*Form:*

- Wall size: 230mm cavity walls in stretcher bond in (1:4 cement) mortar.

*Material:*

- Cement Maxi bricks and to comply with SABS 227.
- All brick walls to be bag washed and/or plastered.

*Colour:*

- Wall colour and finish to match existing dwelling for additions. No alternative colour will be approved

#### 5.2 Roofs:

*Form:*

- Pitched roofs at between 20-35 degrees are permitted
- Lean-to-roofs/ Veranda roofs max width of 3,5m wide
- Lean-to-roofs are pitched at 2-5 degrees
- The minimum height of 450mm is when the lean-to-roof is connected to the underside of the fascia of the main roof

*Material:*

- Material: Double Roman Terracotta concrete roof tiles (Code 901043)
- Sheet profiles: corrugated, IBR,
- Clip lock (to match roof tile colour)
- **No** fibre cement roofing & tiles will be permitted

*Colour:*

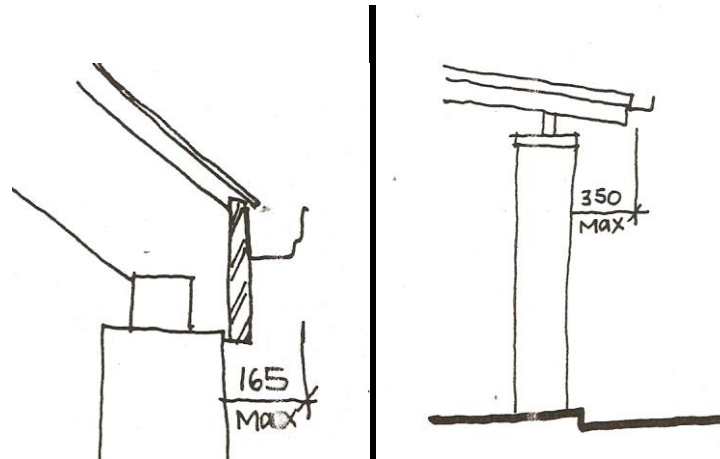
- Charcoal will be permitted.
- The colour of the gutters to match the colour of the roof.

*Roof Furniture:*

- Ventilators, extracts & roof lights must be incorporated in the design of the structure and must match the colour of the roof.

5.3 Hip-ends, Eaves, Parapets, Gutters

- No Gable end roofs will be permitted. The major plan form can have hipped ends with a pitched roof.
- The main roof and the lean-to-roof must have no overhang. The fascia and the gutter have a max overhang of 165mm.
- Verandah eaves may have a max overhang of 350mm, beyond column or post.
- The gutters must be white, pre-formed galvanised steel or aluminium.
- Diameter of the gutter to be 75dia. The down pipes to be painted PVC or pre-painted aluminium down pipes or 75x50mm rectangular aluminium down pipes must match the colour of the gutter.
- The fascia boards to be painted white. (Refer to sketch 6a & b)



Sketch 6a & b

*Material*

- External walls to be bag washed and/or plastered & painted.
- Facebrick will not be permitted.
- Plaster bands around doors & windows will be permitted on the elevations.
- Window cills to be plastered.
- Nutec 'handy planks' will only be permitted on the entrance roof. (See below sketch 6c)



Sketch 6c

*Colour:*

- The plastered bands details to be white.
- Plastered and/or bag washed walls to be painted the following colours:
  - External paint: Sabre Namib (Flexiseal)  
Sabre White (Flexiseal)
- No other colours will be used other than mentioned above.

5.4 Windows & doors:

*Form:*

- Square and vertical window proportions will be used.
- Windows & doors must align on the elevation.
- Windows behind verandahs or pergolas may have larger openings.
- The windows must be top hung casements.
- No cottage pane & bay windows will be allowed.
- External doors to be solid with vertical or horizontal boarding.
- Trellidoors are permitted (external).
- Front doors exposed to the street must only have:
  - Double panelled timber door
  - Vertical panelled boarding
  - Double or single panelled glazed

*Material:*

- Timber Doors: natural (no stained finishes permitted) or painted.
- Aluminium: white powder coated, natural anodized aluminium windows
- All glass standards must be according to the National building regulations. No mirror glass will be permitted.
- No glass bricks to be used.
- White external burglar proofing to be used.
- *Garage doors must match existing aluminium windows/ be approved by overseeing architect*

*Colours:*

- Colours for painted timber window/ doors: 'clear' varnish
- Colours for pre painted aluminium windows/doors: 'white'

5.5 Verandas & pergolas:

*Form:*

- The openings/ spacing between the supports must not be larger than 2 times the height of the Verandah support.
- IBR profiles to be used on verandahs and on the lean-to-roof structure.

*Material:*

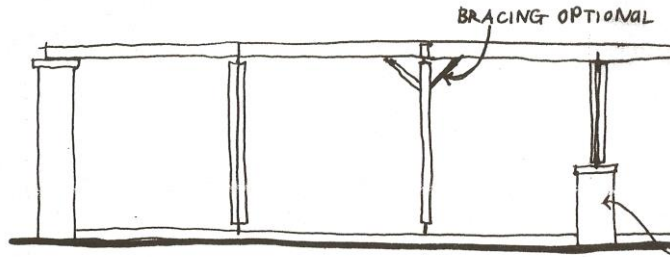
- Steel or timber posts to be painted or pre painted.

*Colours:*

- Verandah posts and pergolas must be the following colour:
  - 'white' or 'clear' varnish timber

*Support Type:*

- Plastered brick and mortar columns (350-500mm square).
- Double steel or timber posts without 45deg bracing detail.
- Single steel or timber post with 45deg bracing detail.  
(refer to sketch 6d)



Sketch 6d

## 5.6 Single Garage

### Form:

- Wall size: 230mm cavity walls in stretcher bond in (1:4 cement) mortar
- Parapet gable ends are allowed for the roof structure
- Pitched roof at between 20-35 degrees are permitted
- Fire door with half-an-hour fire rating to be installed

### Material:

- Cement Maxi bricks and to comply with SABS 227
- All brick walls to be bag washed and/or plastered
- Sheet profiles: corrugated, IBR, clip lock

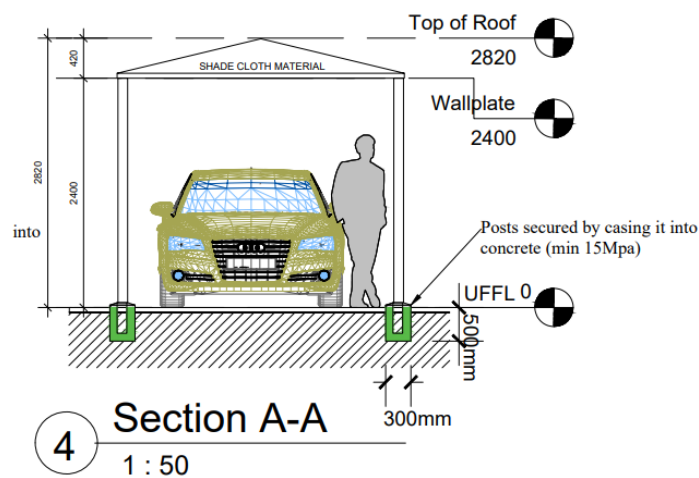
### Colour:

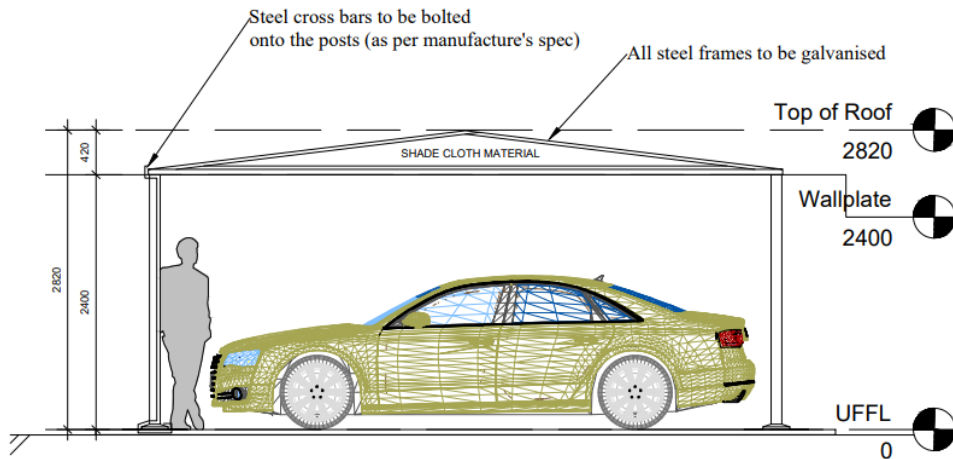
- Wall colour and finish to match existing dwelling for additions. No alternative colour will be approved
- Roof tiles - Double Roman Terracotta concrete roof tiles (Code 901043)
- Corrugated, IBR sheets – Galvanized
- Clip Lock (to match roof tile colour)

## 5.7 Carports

### Form:

- A standard carport may be installed by a professional supplier according to an approved municipal plan
- Size to be determined by the architect/draftsperson





**Material and colour:**

- Desert sand Shade net to be installed with galvanised corner posts

**5.8 Chimneys and Fireplaces**

- Chimney design to complement existing and surrounding architectural style.
- Chimneys to be minimum 1.0 m above roof finish and proportion to be carefully considered.
- Architects to consider chimney draft.
- Steel chimney flue's to be painted to match roof / painted in black and to be well maintained to avoid rust streaks.

**6 Boundary walls and fences**

**6.1 General**

Boundary walls and fences should form part of the structure that is build on the site. The walls & fences must create continuity and connection between buildings. This will create outdoor courts, yards and divided parking areas. The use of timber screens are not permitted. Electric fencing to be approved by overseeing architect. Any deviation from guidelines to be approved by overseeing architect.

**6.2 Street & side boundary walls**

Walls on streetscapes are permitted. The maximum height of the front walls to be 1.5m. The maximum height of the rear and side walls to be 1.8m high and may be used between boundaries and side/ back boundaries. The wall can be built on the boundary (no setbacks) to create the 'werf concept'.

**PLASTER & PAINT FINISH ON BLOCK WALLS IS COMPULSORY.**

Side, back & front walls may be enclosed with:

- The boundary wall (masonry, cement bricks, cement block)
- Precast concrete panelled walls (with supports maximum spacing 3m c/c)
- Coated metal mesh fence such as Betafence/Clearvu



Precast concrete panel



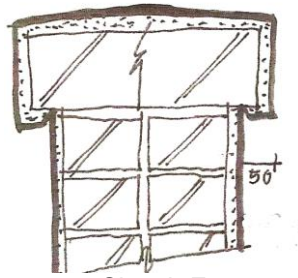
Clearvu/Betafence



NOT PERMITTED: Diamond mesh fences, wooden panels, barbed or razor wire will not be permitted.

### 6.3 Finishes & Paint Schedule

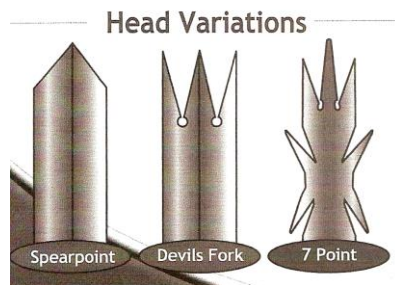
- Masonry, cement brick & cement blocks: Plaster/bagwash finish. The colour of the wall to match the colour of the building.



Sketch E

230mm THICK/WIDE WALL WITH 50mm OVERHANG  
WALL FINISH TO MATCH COLOUR OF BUILDING

- Aluminium: Powder coated to match window colour.
- Palisade Fence: Steel 76x76 Square tube posts. All steel components to be galvanised/ hot dipped and painted. The fence to be 1.8m high. Different 'head variations' to be used on the steel palisade fence.



Sketch F

## 7 Generators

- Placement of generator on site to be carefully considered and the effect on neighbouring properties.
- Treatment to reduce the effect of noise level as well as exhaust pollution must be proposed to the overseeing architect.
- An application to the overseeing architect indicating the placement of the generator on the site, relevant specification, intended use and proof of compliance with Local Authority Regulations.
- Any other devices for alternative energy must be approved by overseeing architect to protect the interest of neighbouring properties.

## 8 Solar panels

- All new solar panels to be installed flush with the roof pitch where visible.
- No external tanks on the roof will be allowed.
- An application must be submitted to the overseeing architect to review any new solar panel or solar geyser installation.
- 

## 9 Air Conditioning

- All new air conditioning units must be placed lower than adjoining boundary walls and pipes / ducting painted same colour as walls where possible.
- Placement of air conditioning units must be shown on plan.
- Concealing air conditioning from street view and neighbouring property must be considered to improve the overall aesthetics of the Villas.

## 10 Water Tanks

- Placement of all new water tanks must be sensitive to neighbouring properties as well as visibility from the street.
- New water tanks to be indicated and specified on plan.
- Water tanks to be screened where possible.
- An application must be submitted to the overseeing architect for any water storage tanks installations.

## 11 Sundry Items

- Driveways

Driveway materials to match existing, concrete paving. Overseeing architect approval required.

- Satellite Dishes

No satellite dishes will be allowed. The use of fiber connection is encouraged.

- Gas Cylinders

Gas cylinders and gas installations must comply to regulations and must be concealed or screened where possible.

- Security Cameras

Placement of security cameras must be carefully considered and must comply with privacy regulations. Any mounting posts and cameras facing the street or public spaces must be approved by the HOA.

- Electric Fencing

Placement of electric fencing on internal borders to comply with regulations.

- External Lights

External garden lights to be warm in colour and placed on a low level where possible.

External lighting for patios, security etc. may be installed at a higher level in the case where it does not cause a disturbance to neighbouring properties. Approval will be required.

- Home Numbers.

All new home numbers to match existing. Alternatively, a design can be presented to the overseeing architect for approval.

## 12 Submission process:

1. A digital copy of the plans to be submitted via email to the HOA manager accompanied with the application form.
2. An invoice for scrutiny will be sent via email to the client / architect.
3. Proof of payment must be sent to the HOA manager with the relevant erf number.
4. Once proof of payment has been received, the plan will be approved within 10 working days.

### Fee payable for the review:

Additions and alterations smaller than 30m <sup>2</sup> :	R 500.00
Additions and alterations larger than 30m <sup>2</sup> :	R 1 250.00
New Dwellings : Not Applicable	

### Fee payable to HOA Manager:

Unauthorized additions and alterations penalty :	R 5 000.00
Penalties will be subject to change and determined by the HOA.	

\* Minor alterations, for the purpose of this document, will be defined as building alterations which does not necessarily require local authority approval. For example: items listed under Sundry Items, new water tanks, solar panels, generators etc.



**Annexure A:**  
**Application form for overseeing architect submission:**

Property owner details:

Date submitted: \_\_\_\_\_

Erf Number: \_\_\_\_\_

Property Street Address: \_\_\_\_\_

Owner Name: \_\_\_\_\_

Owner Contact Number: \_\_\_\_\_

Owner Email: \_\_\_\_\_

Architect details:

Architect Name: \_\_\_\_\_

Architect Contact Number: \_\_\_\_\_

Architect Email: \_\_\_\_\_

SACAP Registration number: \_\_\_\_\_

Documents included with the application form:

- 1. House plan (Colour copy)
- 2. SG Diagram indicating boundary lines

\_\_\_\_\_  
Owner signature

\_\_\_\_\_  
Architect Signature